

CHAPTER 5
COMMUNITY DESIGN

COMMUNITY DESIGN ELEMENT

5.1 Authority and Purpose

While the Community Design Element is not a required element, State Law (Government Code Section 65303) allows other elements to be included within the General Plan that will promote the well planned growth of the designated area.

“The general plan may include any other elements or address any other subjects which, in the judgement of the legislative body, relate to the physical development of the county or city.”

This element provides an overview of the City of Colfax and seeks to maintain and enhance the community’s existing character and preserve the cultural and historical resources which make Colfax a desirable place to live.

This element suggests ways to preserve the characteristics that have made Colfax a quality place to live. Preserving these qualities will provide a link with the past and preserve what is important for the future.

This element is comprised of three sections. Each section is designed to maintain and enhance the desirable characteristics of Colfax. Community Character addresses the positive physical appearance of the community. Community Design presents specific design guidelines to maintain and promote positive physical qualities of the community. Lastly, Historic Preservation identifies the historic features and cultural heritage of Colfax and sets measures to preserve historic areas.

5.2 The Design Element

5.2.1 Introduction

In March 1998 the Colfax City Council amended Colfax Municipal Code section 2-2.303 to expand the scope and power of the City Design Review Commission and the City Historic Design Review Committee. These two bodies were unified into the Design Review Commission. The duties of the Design Review Commission are as follows:

- review and recommend approval, modification or denial of all proposed developments requiring qualified aesthetic and architectural judgement to the end that the general appearance of all proposed developments shall preserve or enhance the physical environment and character of the City;
- serve as the Design Review Commission;
- cooperate and assist other City Boards, Commissions, departments and staff to insure that public projects within the City, such as parks and recreation facilities,

historical interpretive facilities, signage, streets and other public buildings, including recreation or cultural facilities, have the benefit of Design Review Commission review and assessment;

- as directed by the Council, or as requested by the Planning Commission or other boards and commissions, with Council approval, develop such architectural and landscape guidelines as may be adjudged and appropriate for:
 - a) Public and private structures, (excluding existing independent one or two family homes), signs and landscaping,
 - b) Specific larger-scale developments such as industrial parks, shopping centers, mixed use planned developments, or housing subdivisions,
 - c) All structures in “Special Historic Preservation Areas”..

5.2.2 Purpose

The purpose of Design Guidelines is to foster good design, provide a feeling of civic pride, encourage investment, and to improve the area’s economic vitality.

Most U.S. cities have traditionally relied on zoning to guide the physical character of the community. Although zoning has adequately regulated the types and locations of land uses, it usually does not address the quality or appearance of development related to such land uses. Visual design guidelines encompass all the physical elements which make up the city and its natural setting. They include the visual quality of the entire city, as well as development patterns of specific areas. Design guidelines will help determine how Colfax will look in the future, how it will function as a community, ensuring it is attractive and liveable.

The Community Design Element has been prepared to lend itself to establishing a set of design guidelines for use by property owners undertaking rehabilitation, renovation and new construction projects, for business owners engaging in storefront improvements, for city officials and staff involved in reviewing development applications, and for the general public interested in furthering their understanding of the fundamental design characteristics that make up the historic character in the Historical Design Control District. This element and design criteria are intended to be just that — an educational guide to compatible and image-enhancing building improvements and development in the City of Colfax.

Design review is applicable to building exteriors only. It should be remembered, however, that most every exterior change, modification and addition to an existing building of any type requires a building permit. This includes many minor alterations such as removal of stairs or window changes to all aspects of major building renovation projects. It’s important to remember that all signage changes and additions also require a city permit. Whenever a building or sign permit is required, the criteria established by the Design Review Commission, applicable ordinances, and this element shall apply.

A glossary of technical terms used throughout this document is presented at the end of this element for assistance in understanding architectural and design guideline terminology.

5.3 Community Character

The City of Colfax is a small community in Placer County. Colfax is bisected by the Union Pacific Railroad and Interstate 80, both major transportation routes from California to the eastern United States. Much of the agricultural export from California travels east by highway and rail through the City. Although some mining, logging, and fruit growing and packing did take place in the vicinity, the main item of historical significance has been the railroad. The impact of the railroad can still be seen in the alignment of Main Street with the railroad tracks.

As Colfax continues to grow, challenges to maintain the community's historic character will increase. The appeal of this community is created by numerous positive attributes that form its identity. These attributes include its historic development, close ties to rail and auto transportation, and small town atmosphere. The community character should be maintained by preserving the special qualities that form the foundation of Colfax.

The City's character begins in the historic downtown commercial and residential area and radiates out to encompass the entire community. However, recent commercial developments in the commercial highway zone have strayed from traditional building materials and design features that have created the look and feel of this city. It is important to link the more recent growth with the character of the existing community architecturally, as well as physically.

5.3.1 City Form

Although the City has been divided into three distinct sections by the railroad and Interstate 80, Colfax has been able to maintain a relatively compact urban form. The City has developed and evolved around the downtown Historical Design Control District along Main Street, between Depot Street and Church Street. This downtown area is the geographical heart of the urban area and has traditionally been the focal point for the community. The highway commercial district adjacent to Auburn Street and Canyon Way are located east of the historic downtown. These areas are dependent upon and cater to thoroughfare traffic and encourage centers for retail, commercial, and other highway-related activities.

To maintain the rural character of Colfax, future growth and development should be orderly and promote a strong urban form. This urban form should reinforce the historic characteristics of the City and maintain the downtown area as the focal point.

5.3.2 Gateways

Gateways are distinct entrances into a city or region. When formed by strong building edges, signs, landscaping, or other design elements, they help create a special sense of arrival and departure from an area and promote a sense of place for a community. A gateway location will gradually change over time as the urban area develops. The purpose of the gateway however, is constant. The gateway welcomes the visitor and resident into the community and provides a lasting image upon departure.

Three gateway entrances into Colfax are described below. The character of each entrance and the purpose of each roadway is distinct. The reasons people use these corridors also varies.

Freeway Corridor

Colfax is bisected by Interstate 80, a major transportation route connecting California to the Rocky Mountains. Freeway interchanges and corridors often create the first impression of a city for visitors. This gateway provides a transition from a high paced highway to a calmer environment. Buildings and signs located along the Interstate 80 corridor should take into consideration the view of drivers from the freeway. It is important that travelers on Interstate 80 take notice of this gateway as an invitation into Colfax.

Main Street and Highway 174

Main Street begins at Highway 174, enters the City from the north, and leads into Historic Colfax and the downtown area. Highway 174 provides access to neighboring communities such as Grass Valley and Nevada City, as well as provides a link between Highway 20 and Interstate 80. The Main Street/Highway 174 intersection offers the City the chance to create a gateway to attract visitors using Highway 174 into the downtown area, which can be done with features such as signs, landscaping, and road improvements.

Auburn Street and Highway 174

Highway 174 terminates at its intersection with Auburn Street. This gateway provides access into the highway commercial zone along Interstate 80 and Auburn Street and is located southwest of the historic downtown. The natural forest setting along Highway 174 is quickly replaced by residential and commercial land uses. The abrupt transition develops a strong city edge and there is a clear distinction between the rural natural environment and urban form.

8.0 Community Design Element

5.3.3 Downtown Revitalization

The downtown business area is in the heart of the historic portion of the city. An economically strong downtown is necessary to maintain unity and pride in the community. The downtown should continue its revitalization efforts in order to produce a strong and self-sufficient city. Promoting the historic attributes of the downtown should be part of any revitalization effort.

5.3.4 Continuity and Compatibility

There is currently a polarization being created by the newer developments in Colfax. The new developments do not have the feel or the appearance of the older parts of town. There is a need to link these new areas to the City. It is important that new commercial and residential growth blend in with the feel and character of Colfax.

In order for new development to blend in with the character of the existing City, several qualities must be incorporated into site design. The following principals were developed to guide the development of the General Plan and in particular the Community Design Element.

- Neighborhoods must maintain a human scale, and streetscapes and sidewalks should welcome the pedestrian.
- New housing must be diverse in design and character.
- Developments must focus on design features and historic characteristics that are positive attributes in Colfax.
- Developments must maintain established street patterns and provide pedestrian linkages using sidewalks, bikeways and trails.
- Development must enhance the natural environment and resources within the City by the establishment of trails and other recreation facilities.

5.4 Community Design Guidelines

The purpose of establishing design guidelines for the City of Colfax is to retain the rural, mountain feeling of the City during a period of growth and significant increase in density. This section proposes specific design and architectural qualities that create an attractive urban environment. The Design Guidelines contained in this section will be utilized by the City during review of development proposals. Through the implementation of these guidelines the City will promote visual qualities in site development, building design, and landscaping that will enhance the City's appearance.

5.4.1 Design Review General Conditions

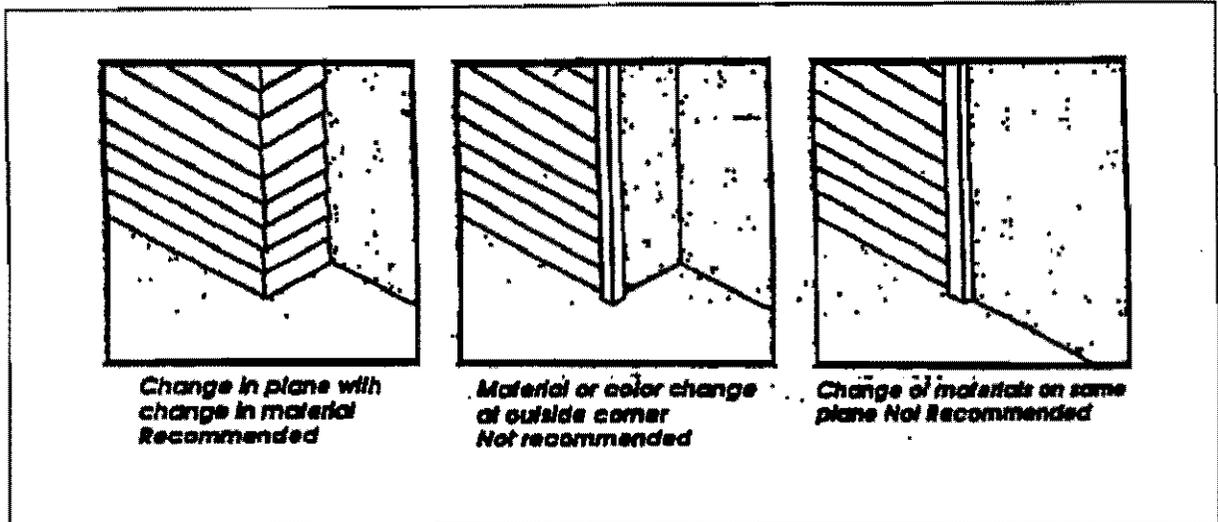
- 5.4.1.1 All conditions of a use permit shall be complied with prior to the approval of occupancy.
- 5.4.1.2 The development or use by the developer of any activity or structure authorized by a use permit shall constitute acceptance of all of the conditions and obligations imposed by the City on this permit. The developer by said acceptance waives any challenge as to the validity of these conditions.
- 5.4.1.3 The location of buildings and structures shall substantially conform to final 'approved' Exhibits, unless amended.
- 5.4.1.4 The elevations of all buildings and structures shall substantially conform to finally 'approved' Exhibits, unless amended by a major modification or minor modification. The final building plans submitted with the building permit application shall clearly indicate all building materials and colors to be used in construction.
- 5.4.1.5 All modifications in the final design or materials and colors for building and masonry walls will be subject to review by the Design Review Commission. Any request for a minor modification shall be made to the Planning Director in writing and shall be accompanied by three copies of any plans reflecting the requested modifications.

5.5 General Guidelines for Design

The building design must have a clear architectural concept which is carried throughout all elevations to achieve continuity of design.

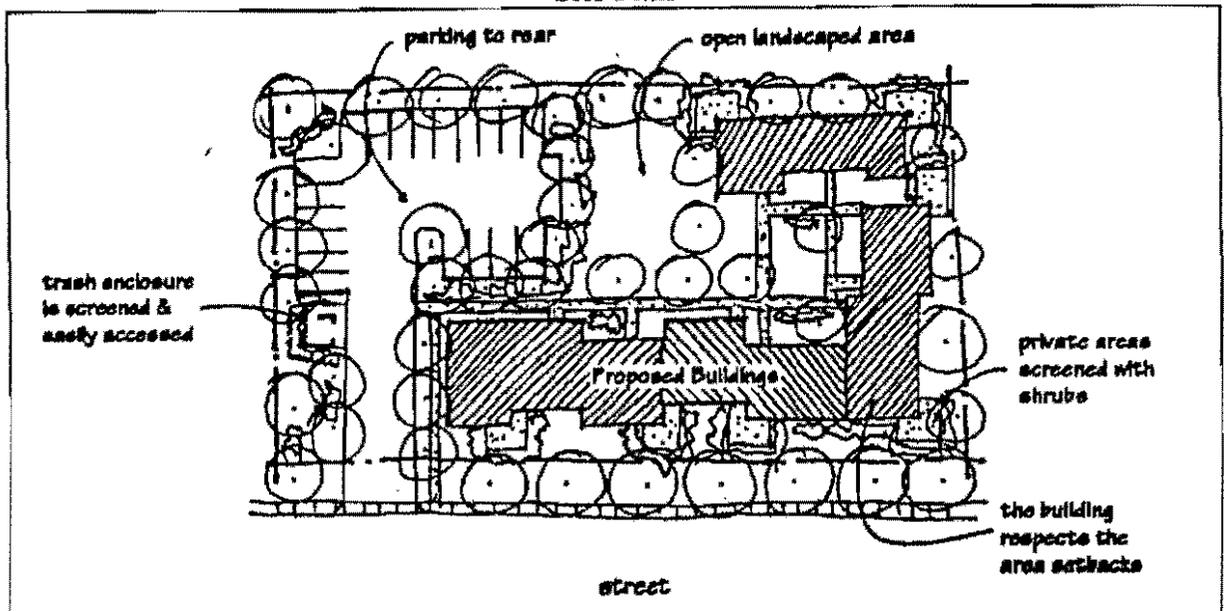
- 5.5.1 Development must relate to the needs of the greater Colfax community, as well as the needs of passing traffic.
- 5.5.2 Design of the building incorporates articulation and details to create architectural interest.
- 5.5.3 Site design must take full advantage of views, creeks, or any other natural asset provided by the property in question.
- 5.5.4 Materials or textures must wrap around the side of the building and not end abruptly (Figure 5-1).

**Figure 5-1
Building Material**



- 5.5.5 Building texture is used to create interest and compliment a feature or concept.
- 5.5.6 Buildings should be oriented as to provide for landscaping and aesthetic value for passing traffic.
- 5.5.7 Site plan shall take into consideration landscaping and existing vegetation.
- 5.5.8 Site plan, elevations, textures and colors shall take into consideration the character of surrounding buildings and development.
- 5.5.9 Signage shall be consistent in size, materials, location, and color with surrounding development.
- 5.5.10 Exterior lighting shall be directed inward and onto the site.
- 5.5.11 Parking should be to the side or rear of buildings when possible (Figure 5-2).
- 5.5.12 All service areas are to be screened from passing traffic and customers, access to parking areas should provide minimum congestion to all frontage roads (Figure 5-2).
- 5.5.13 Site plan shall indicate pedestrian and bicycle linkage to adjacent properties.

Figure 5-2
Site Plan



5.6 Street Design Guidelines

Future roadways should maintain historic patterns and design. The character of the community is enhanced by providing streetscapes that invite pedestrians and encourage residents to walk within the community. Design improvements offer the opportunity for increased bicycle and pedestrian use. Design improvements should comply with the following:

- 5.6.1 Cul-de-sacs and circular street patterns are discouraged unless absolutely necessary.
- 5.6.2 Create street patterns that are pedestrian in scale.
- 5.6.3 Streets should include appropriate streetscape improvements.
- 5.6.4 Continuous and consistent tree planting will be used to form a canopy enclosure.
- 5.6.5 Create street patterns that are easily accessible to bicycles or develop bike lanes.

5.7 Residential Site Design

The design of housing units should include various traditional building concepts that create a friendly, small town atmosphere. New developments should add to the culture and character of Colfax.

- 5.7.1 Developments should provide architectural variation through the design of

- 5.7.2 New development should be compatible and complimentary to existing development, particularly with regard to aspects of historic design. Residential housing characteristics should reflect architectural features common during 1875 to 1950.
- 5.7.3 Houses should be located toward the minimum front lot line setback.
- 5.7.4 Detached and rear access garages are encouraged.
- 5.7.5 Garage doors should not be the focal point of house design.
- 5.7.6 Front doors and porches should be the most prominent aspect of house design.

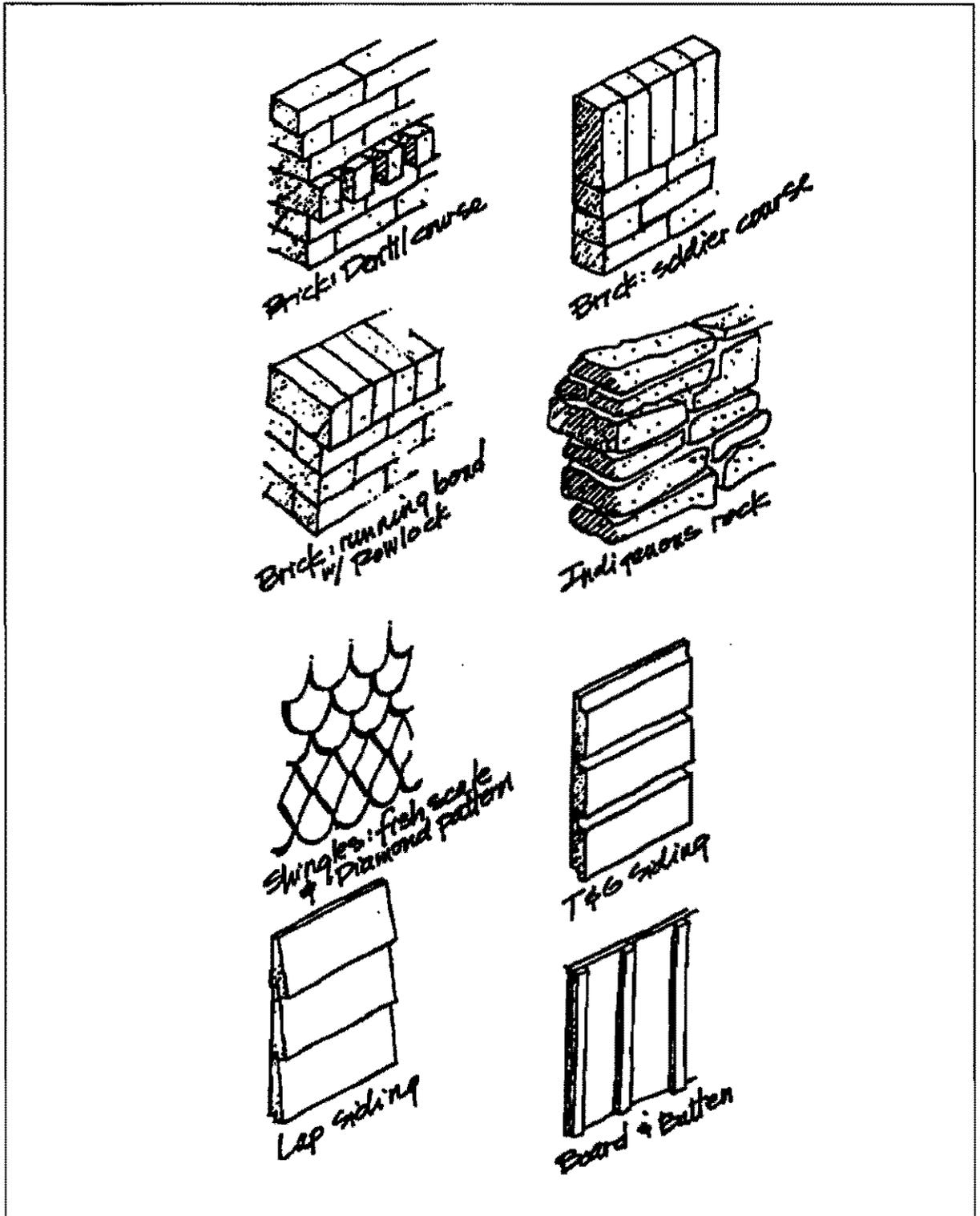
5.8 Commercial/Business Site Design

Businesses should be designed to attract customers and encourage people to come to a specific area.

The storefront is one of the essential elements in the design of a building. It is important that the storefront is treated as a focal point of the structure. In the historic downtown area, the historical look of the buildings is desirable and appealing.

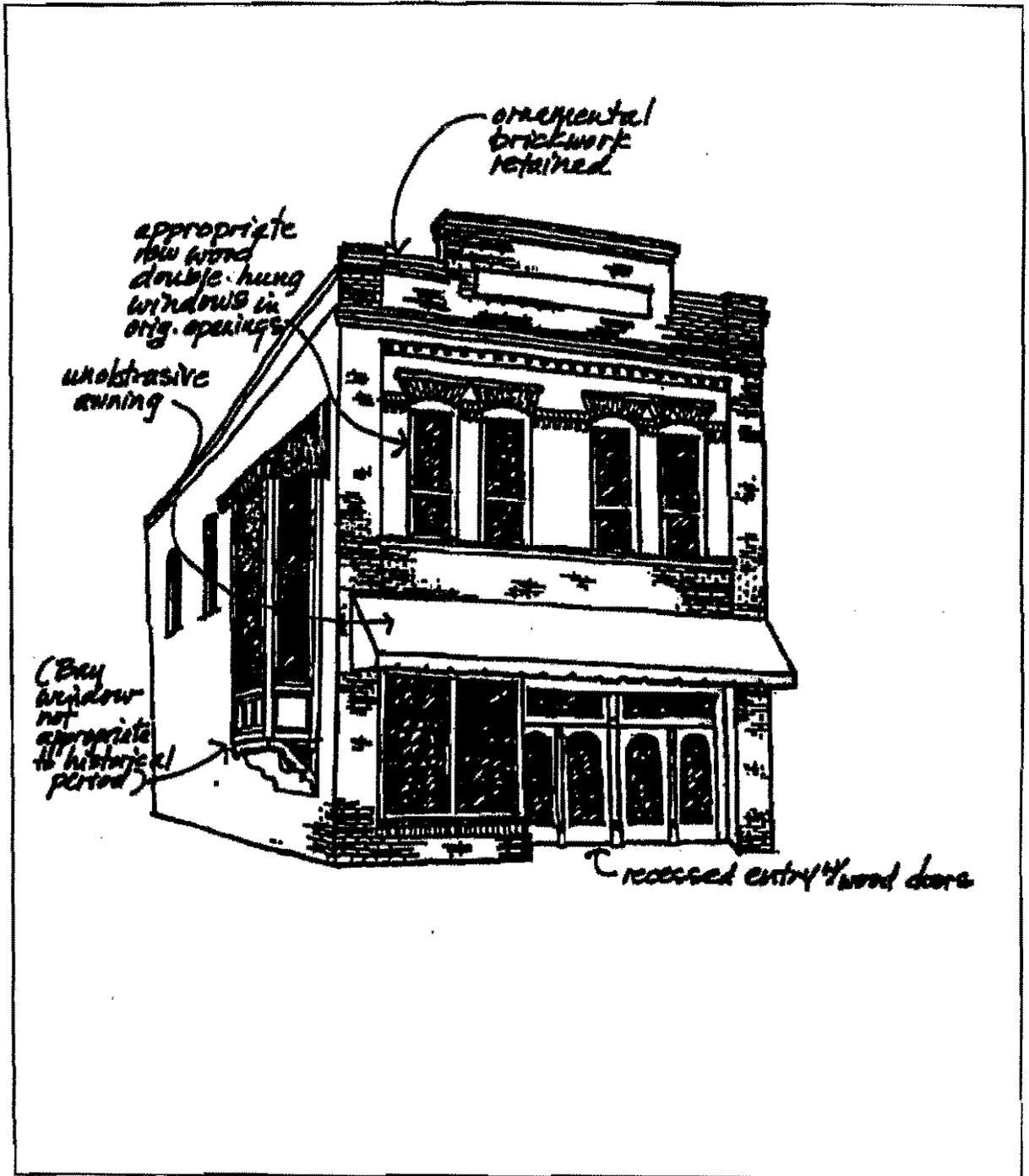
- 5.8.1 Maintain the community's character and appearance through the use of traditional materials and building styles (Figure 5-3). Commercial development characteristics should reflect architectural features and building materials and building colors common during 1875 to 1920.
- 5.8.2 Utilize historic design features and colors. The Design Review Commission has established appropriate historic building colors.
- 5.8.3 Maintain pedestrian scale in the downtown area.

Figure 5-3
Traditional Material



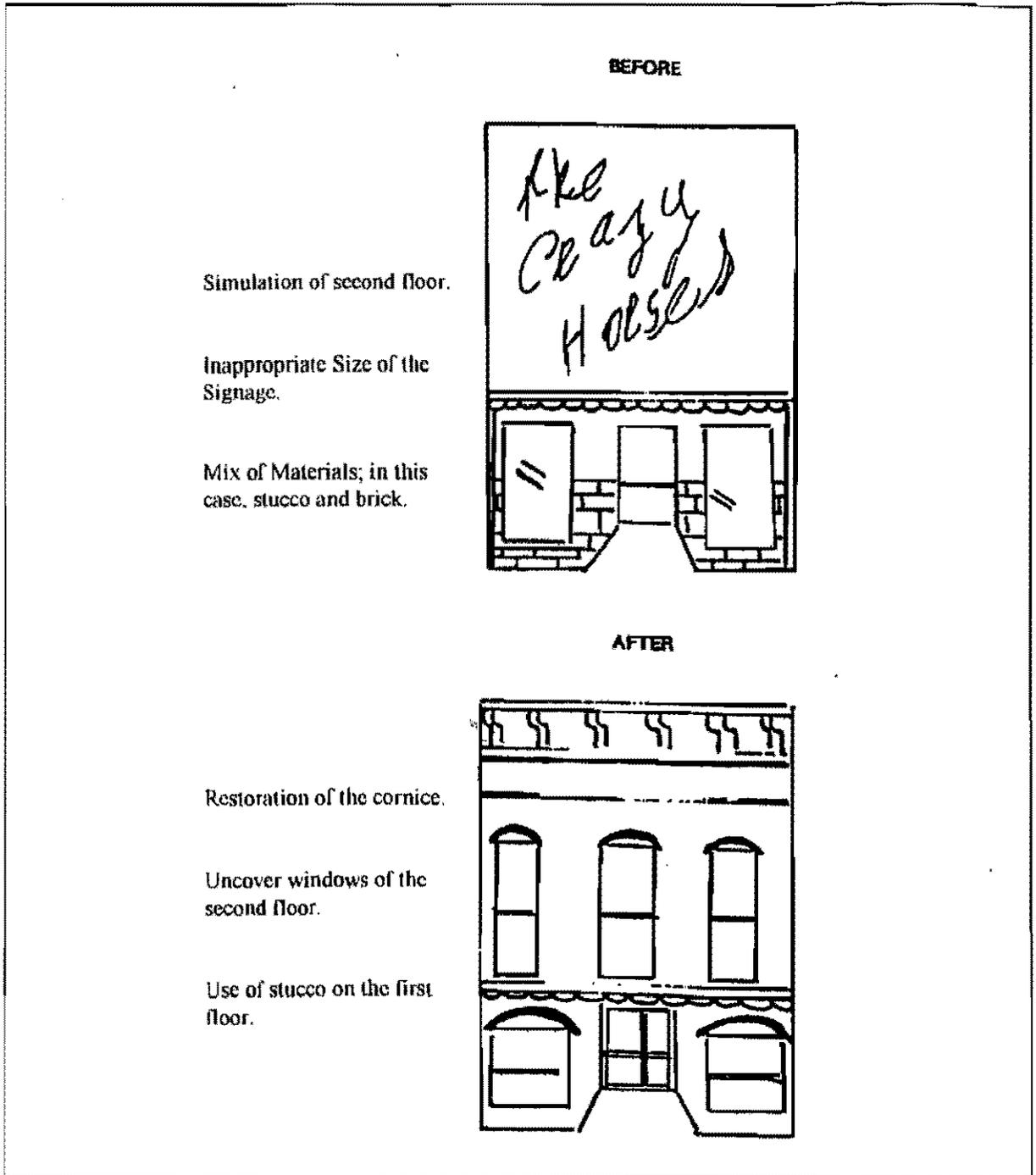
5.8.4 Articulate the different parts of the building's facade by use of color arrangement of facade elements or change in materials (Figure 5-4).

Figure 5-4
Building Facade



5.5.5 Avoid blank walls. Utilize windows, wall articulation, or other such features.
(Figure 5-5)

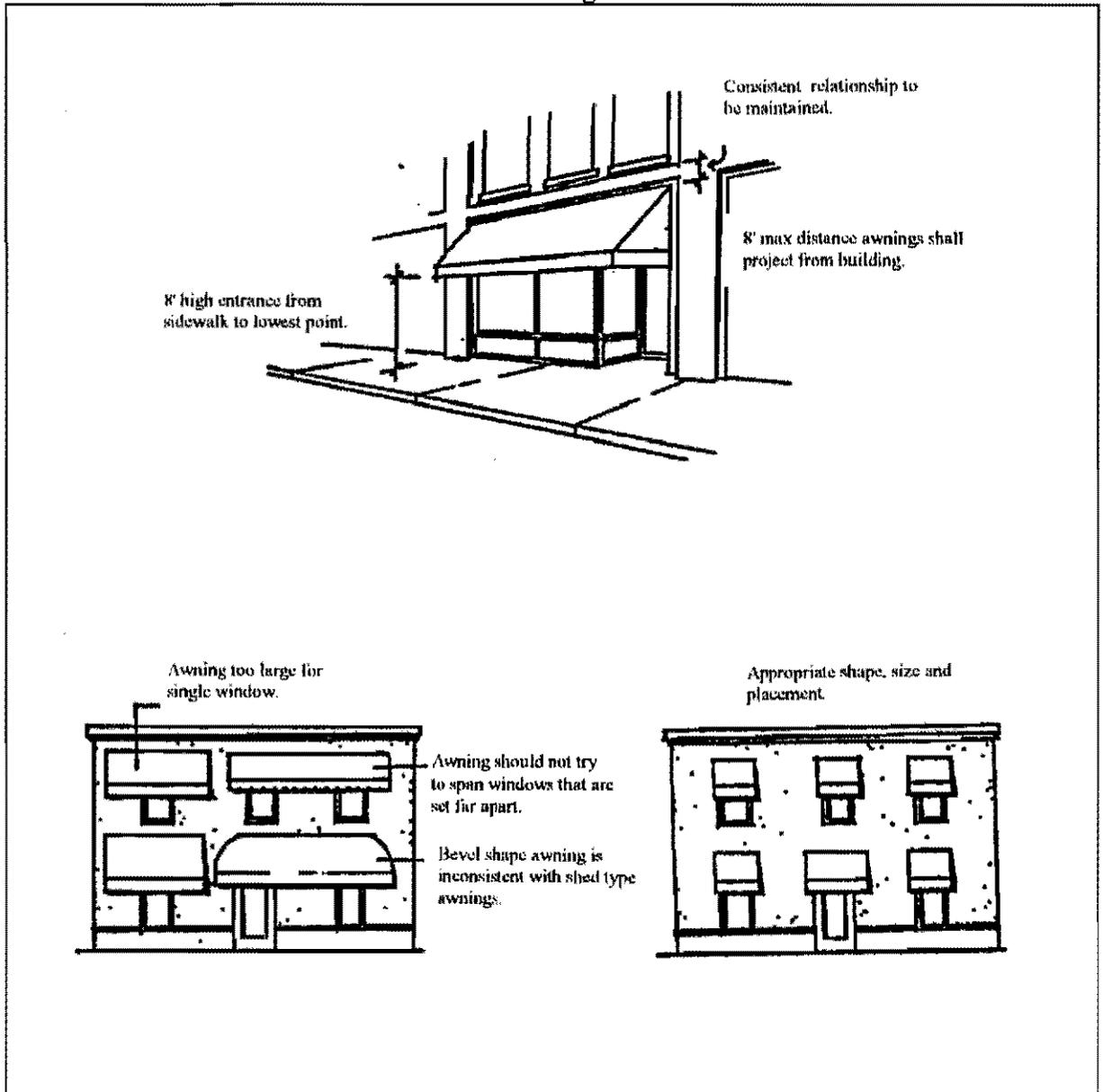
Figure 5-5



5.8.6 Awnings can be an important feature of a building. Awnings add color and break up the vertical look of a facade, as well as provide protection from the weather. Awnings are encouraged in building construction (Figure 5-6).

5.8.7 The size, shape, and color of an awning should be compatible with the rest of the structure and adjacent development (Figure 5-6).

Figure 5-6
Awnings



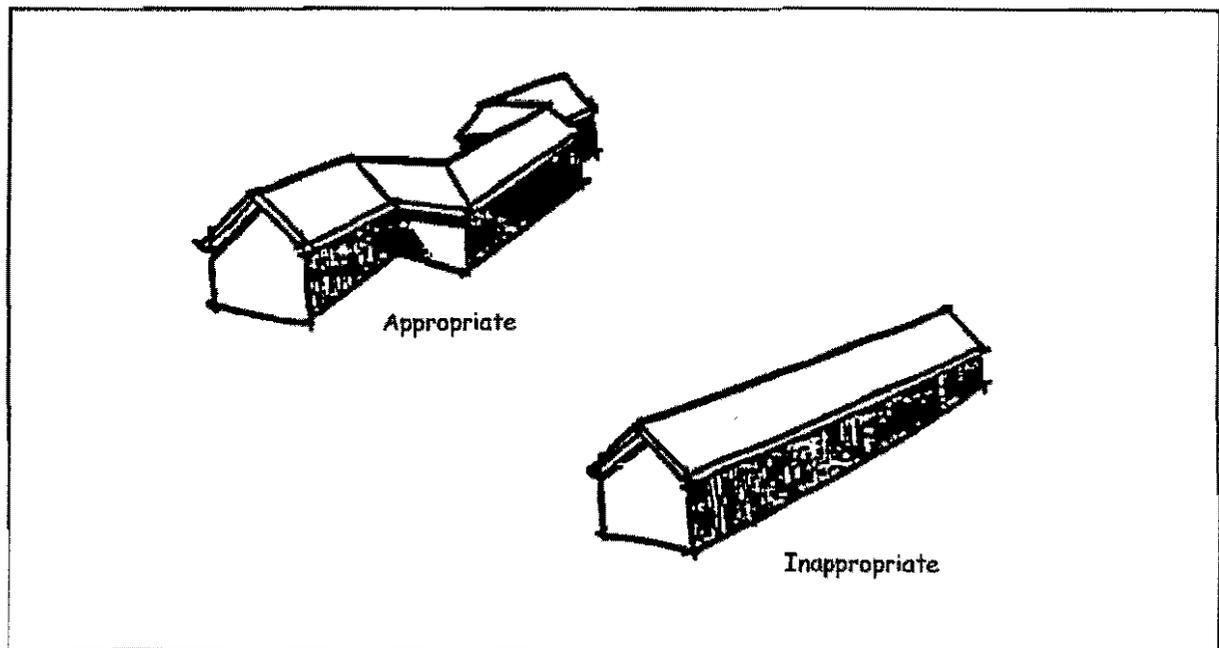
5.9 Building Articulation and Massing

Height and mass of buildings should be in proportion to the surrounding buildings, trees, and terrain. Two stories or stepped hillside/split level construction is the preferred maximum offset rather than long warehouse buildings with no articulation.

5.9.1 Boxy building designs with no visual interest should be avoided (Figure 5-7).

5.9.2 Break-up solid wall surfaces with reliefs and variations in the depth of buildings (Figure 5-7)

Figure 5-7
Building Articulation



5.9.3 Avoid a lack of architectural detail which creates a plain appearance.

5.9.4 Utilize varied materials, textures, or colors to create horizontal and vertical articulation.

5.10 Scale of Structure

5.10.1 The size of structures should remain consistent with the surrounding buildings in the area.

5.10.2 Buildings should maintain similar proportions.

5.10.3 Height of structures shall be compatible with surrounding development.

5.11 Building Materials

The use of traditional building materials produces a natural feel that blends with the historical look of Colfax. Preferred materials and colors are those that reflect the early days of the railroad. Wood, rock, and brick are preferred on the facades of buildings. Metal (non-bright colors) roofs are a plus in the area due to fire protection and snow removal. All color should be subdued whether on structure or signs. Lettering on signs should reflect early western style (see Signs, Section 11, below).

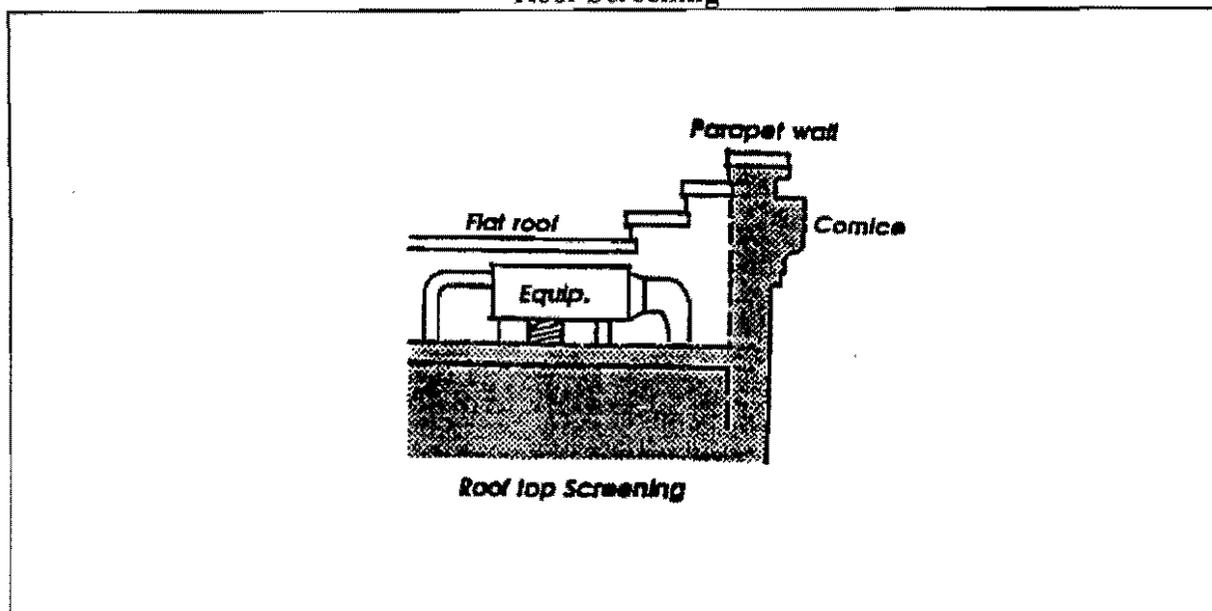
- 5.11.1 All new or remodeled structures shall reflect the early railroad and/or a mountain/western style of architecture. Roofs shall be pitched rather than flat. Porches or covered entries shall be used. Brick, rock or wood facades are preferred rather than block or stucco.
- 5.11.2 Traditional materials such as wood and brick, are encouraged.
- 5.11.3 Stucco and other man made materials generally detract from community character.

5.12 Utilities and Roof Equipment

- 5.12.1 Refuse enclosures shall be constructed in accordance with the standards of the Public Works Department. Enclosures shall be located as shown in the approved plans. Final location of enclosures shall be subject to the approval of the Public Works Director.
- 5.12.2 Enclosures shall be constructed and finished in a manner to match the major design element of the main structure. Such finish shall be indicated on the building plans and is subject to approval by the Planning Department.
- 5.12.3 On-site utility service shall be installed underground in accordance with the Public Works Department policies and standards.
- 5.12.4 Adjacent off-site utility services shall be installed underground unless upon application of a developer or utility company, and after paying required fees, the Planning Commission waives or conditionally waives the provisions for the requirement of underground installation of utility lines in accordance with the City code.
- 5.12.5 All roof heating and/or cooling systems and other appurtenance equipment shall be recessed and/or screened from adjoining property.
- 5.12.6 Outdoor storage and display shall not be permitted.

- 5.12.7 Screening of roof equipment shall be a part of the roof design and equipment installation (Figure 5-8).

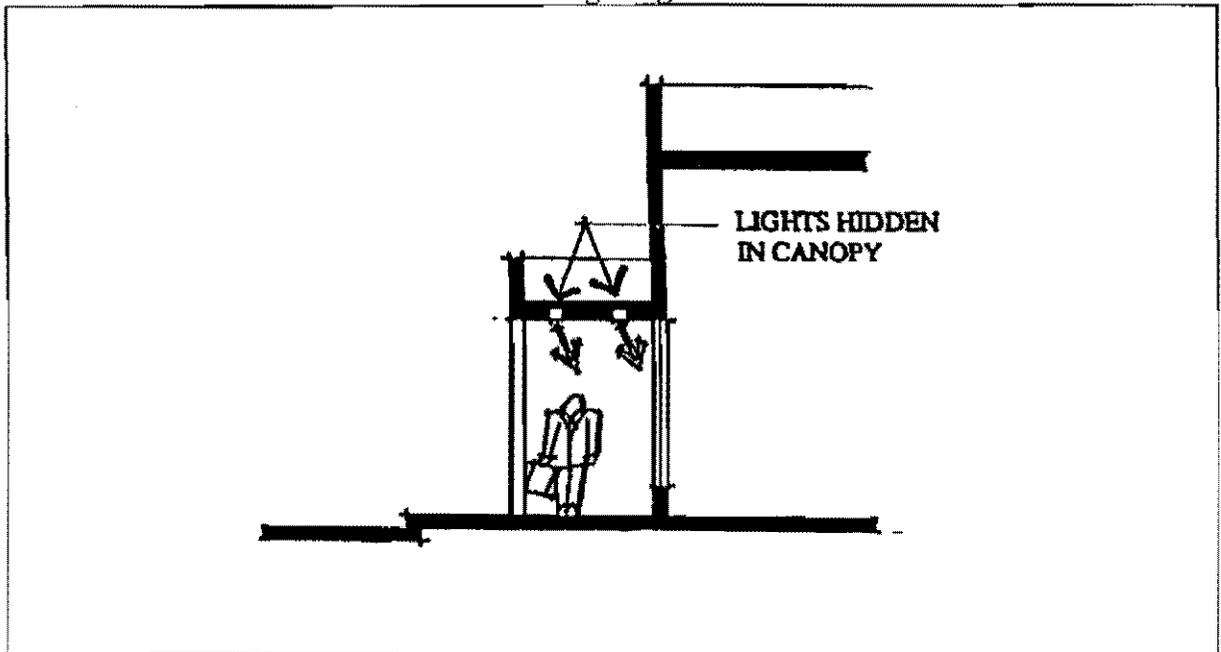
Figure 5-8
Roof Screening



5.13 Lighting

- 5.13.1 No lighting shall be of the type or in a location such that it constitutes a hazard to vehicular traffic, either on private property or on abutting streets.
- 5.13.2 To prevent damage from automobiles, lighting standards shall be mounted on reinforced concrete pedestals or otherwise protected.
- 5.13.3 Under canopy lighting elements shall be recessed or concealed in such a manner as not to be directly visible from a public street (Figure 5-9).
- 5.13.4 Neon lighting shall constitute signage and must conform to the City's sign ordinance and must be reviewed and approved by the Design Review Commission.
- 5.13.5 Exterior lighting should be designed as part of the architectural and site design of a project. Fixture style and locations should be compatible with the building's architecture and landscaping. Projects should display a consistency in lighting-fixture style.
- 5.13.6 Control brightness and direction of light radiation to maintain view of night sky in the City (Figure 5-9).

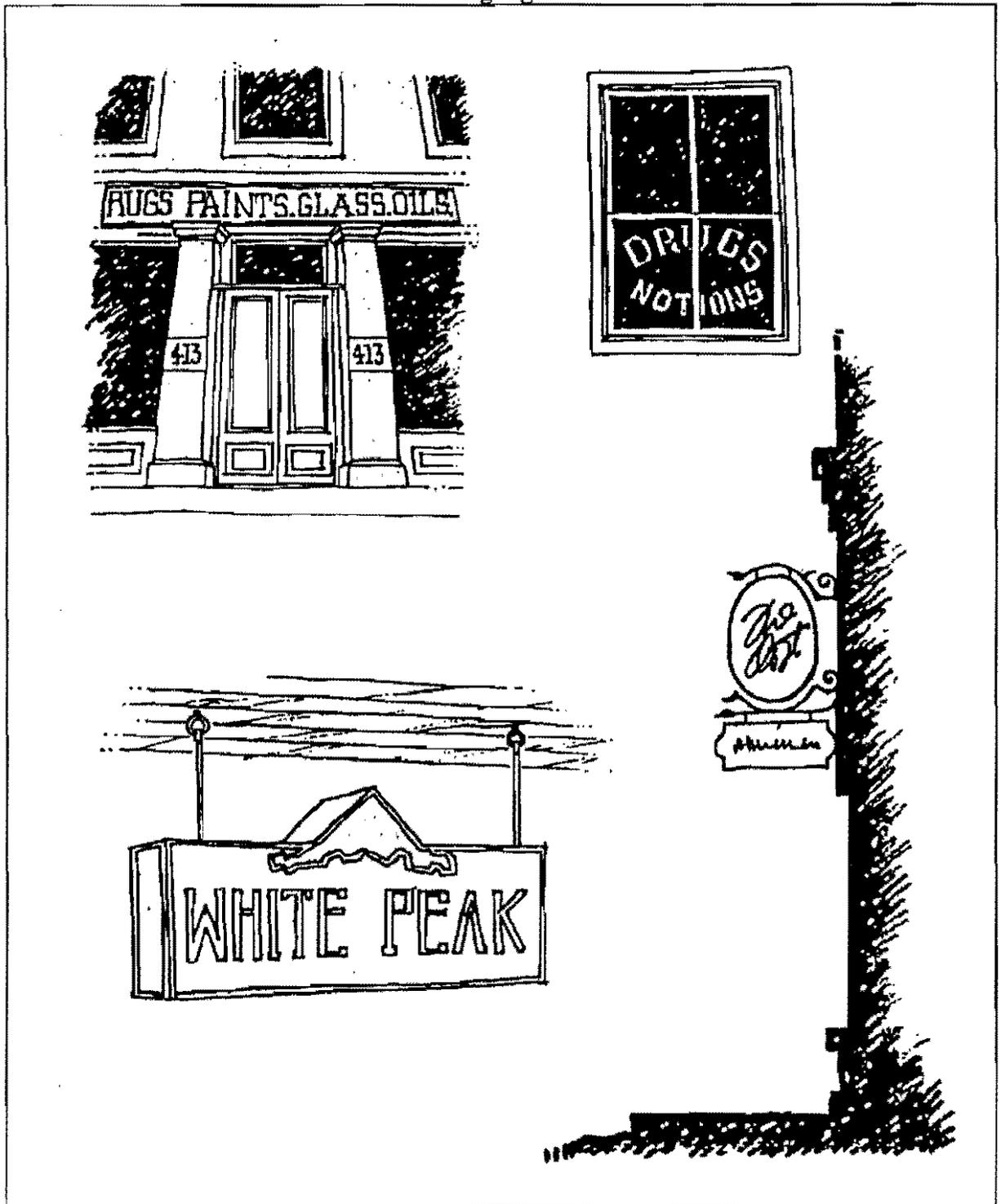
**Figure 5-9
Lighting**



5.14 Signs

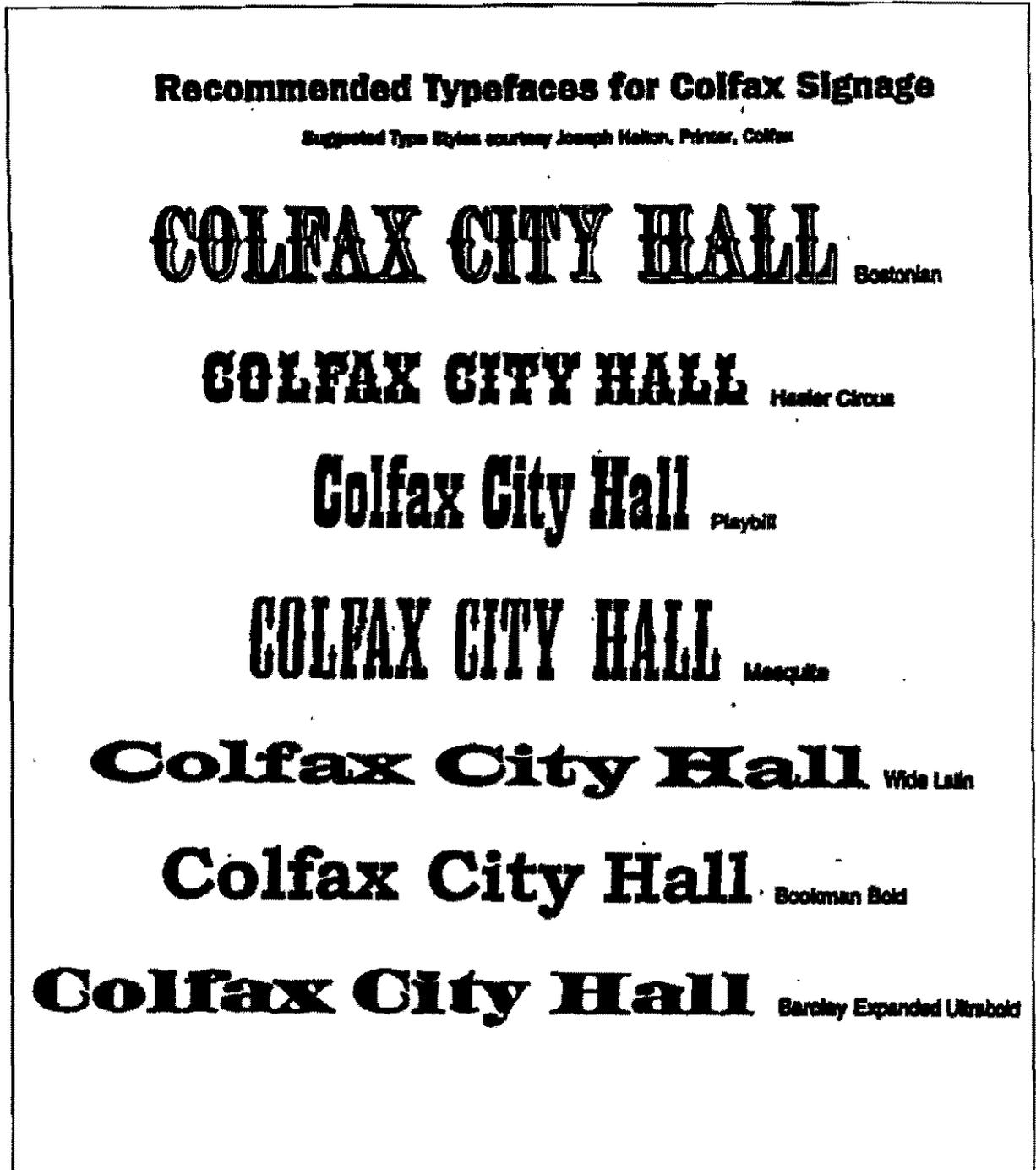
- 5.14.1** No sign shall be erected, constructed, painted or printed without a sign permit issued by the City pursuant to the City Sign Ordinance. Sign area, size and location shall be in accordance with sign regulations of the zone as established by City Ordinance and requirements of this element. Any change in copy shall conform to the original sign in terms of materials and sign area.
- 5.14.2** Signs must respect the architectural design and proportion of the building and should not cover transoms, insignias, or any architectural ornamentation.
- 5.14.3** Sign clutter should be avoided. Generally one primary sign located on the face of the building to announce the name of the business accompanied by smaller secondary signage in the windows or entryway is the most desirable approach.
- 5.14.4** Limit the number of lettering styles used on a sign to increase legibility, i.e. no more than two for small signs and up to three for larger signs.
- 5.14.5** The following types of signs are encouraged:
flush wall mounted signs, projecting signs with solid metal supports, hanging signs from an overhang or from the interior by the window, window painted signs (Figure 5-10).

Figure 5-10
Signage



5.14.6 The desired lettering style for Colfax is as follows :Bostonian, Hasler Circus, Playbill, Mesquite, Wide Latin, Bookman Bold, and Barclay Expanded Ultrabold (Figure 5-11).

Figure 5-11
Lettering



5.15 Landscaping

- 5.15.1 Promote the pedestrian-scale between pedestrians, buildings, and landscaping. Proposed landscaping should relate to the scale of the structures on the site and should be compatible with the character and scale of adjacent landscaping.

- 5.15.2 Landscaping should enhance the aesthetic appearance of development and increase compatibility between abutting land uses.
- 5.15.3 Civic plantings in the Colfax area should include horticulture which will be enhanced with the unique changing seasons of the area. Since Colfax has a chilling and definite change in the fall season, every effort should be made to include horticulture that is enhanced with that particular season, such as leaf color, fruit, or stem structure of trees and shrubs. Care should be given to plant material that will withstand an occasion with snow on the ground for a week or so every few years. Plant for local altitude of 2400 to 2500 foot elevation.
- 5.15.4 Consideration in landscaping and design should include the needs of birds. Evaluation must be included to the enhance the horticulture to the benefit, preservation, feeding, or nesting habitat for birds and butterflies.
- 5.15.5 Trees and shrubs recommended are those having root systems which adapt well to the Colfax area and require a minimum of maintenance and are planted to give the appearance of “the mountain look”.
- 5.15.6 Landscaping and irrigation shall be installed as submitted and approved by the Design Review Commission and Public Works Department.
- 5.15.7 Landscaping and irrigation shall be inspected and approved by the Building Official prior to the issuance of Certificate of Occupancy.
- 5.15.8 Landscaping should provide for the conservation of water resources through the efficient use of irrigation, appropriate plant materials, and regular maintenance of landscaped areas. Xeriscaping (low water, low maintenance) landscaping is recommended.
- 5.15.9 The developer shall provide for the installation of front yard and street side yard landscaping within 60 days of dwelling unit occupancy. The developer shall bond to insure faithful performance within the specified time.
- 5.15.10 Continuous maintenance of all landscaped areas, as specified by the Building Official shall be provided.
- 5.15.11 A plan showing all existing plants, designated plants to be saved, transplanted or removed shall be submitted for approval prior to submittal of landscape and irrigation plans. Retain old/new native Conifers, Oaks, Maples where possible. Replace and replant any dead or removed plants or trees.
- 5.15.13 All trees shall be 24" box size (minimum), all shrubs and vines shall be 5 gallon size (minimum), unless other approved by the Design Review Committee.

5.15.13 Proposed landscaping shall observe the recommended tree species list (provided at the end of this element) established by the Design Review Commission.

5.15.14 Hillside Development - Top contour of all hills is to be maintained with native trees, not clear-cut.

5.15.15 Hillside Development - Graded and cut slopes/fills are to be planted immediately and landscaped to prevent erosion and channel run off to designated retention areas.

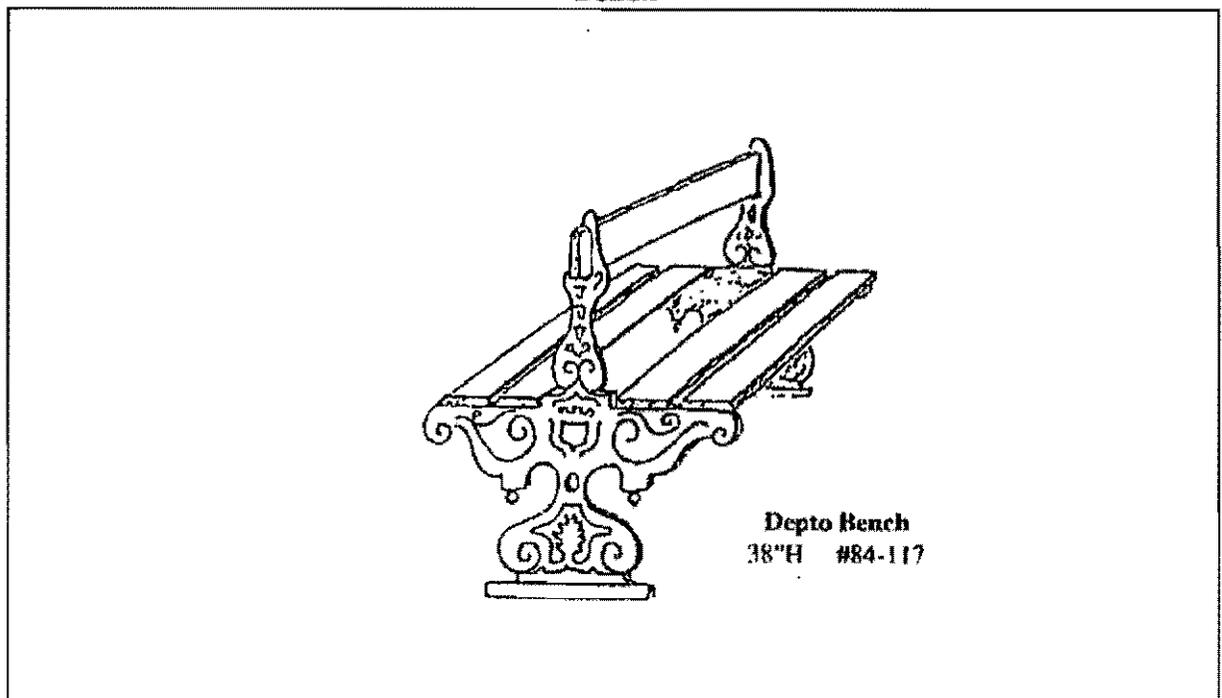
5.16 Sidewalk Treatment

5.16.1 Curb cuts shall conform to adopted City policy.

5.16.2 The sidewalk should be a safe and interesting place for sitting and walking.

5.16.3 Park benches and other street furniture should be available for people to sit down and enjoy the setting (Figure 5-12).

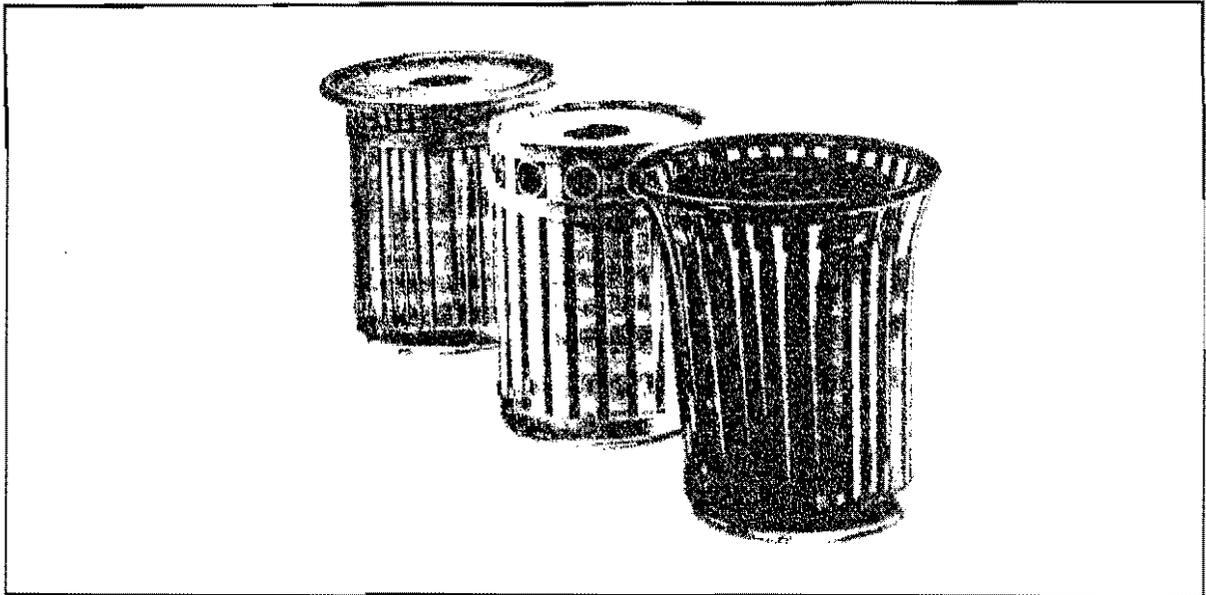
Figure 5-12
Bench



5.16.4 Planter boxes and landscape vegetation are encouraged.

5.16.5 Trash enclosures and bicycle racks are encouraged (Figure 5-13).

**Figure 5-13
Trash Enclosures**



5.17 Historic Design Guidelines

- 5.17.1 Conduct research and/or maintain a visual inventory (i.e. pictures/illustrations) that illustrates the original appearance and significance of historic structures. Before alterations, additions, or rehabilitations take place, determine if the original historic design can be restored or rehabilitated.
- 5.17.2 Respect the design of a structure as a product of the design philosophy and reflection of a specific time.
- 5.17.3 Retain and restore the distinctive stylistic features of the structure.
- 5.17.4 Replace lost features when possible. Restore historical elements of original building designs to create the visual appearance of the original structure.
- 5.17.5 Minimize the alterations that are made to a historic structure. Facade changes should be made only if absolutely necessary.
- 5.17.6 Maintain the storefront elements. Original materials should be repaired or replaced when necessary. Storefronts are typically the most important part of a commercial building.

5.17.7 Use historic colors when refinishing a building. Buildings should be painted in the historic colors that are appropriate to the architectural style of the building.

5.17.8 Match the appropriate awnings to the building style. Awning design should not be the dominant feature in the facade.

5.18 Historic Preservation

Most of the historic structures in Colfax are located around the railroad tracks and along Main Street in the historic downtown (Figure 5-14). These areas have significant architectural features that are important in maintaining the character of the community.

5.18.1 Historic Preservation Programs

Programs for the conservation of historic features and structures will vary depending upon the level of protection and the type of funding the City wishes to pursue. These will vary with the significance of the structures and the City's level of commitment to historic preservation.

5.18.2 Historic Preservation Designations

Federal

At the Federal level, a structure can be designated on the National Register of Historic Places. In order to be on this list, the structure must have architectural and historical significance that promotes the integrity of the national history. The designation process requires from six months to three years to complete. This is the strongest level of protection that can be provided. It is also the strictest level and upon placement on the register, permission must be granted by the Secretary of the Interior before modifications to the structure could take place.

State

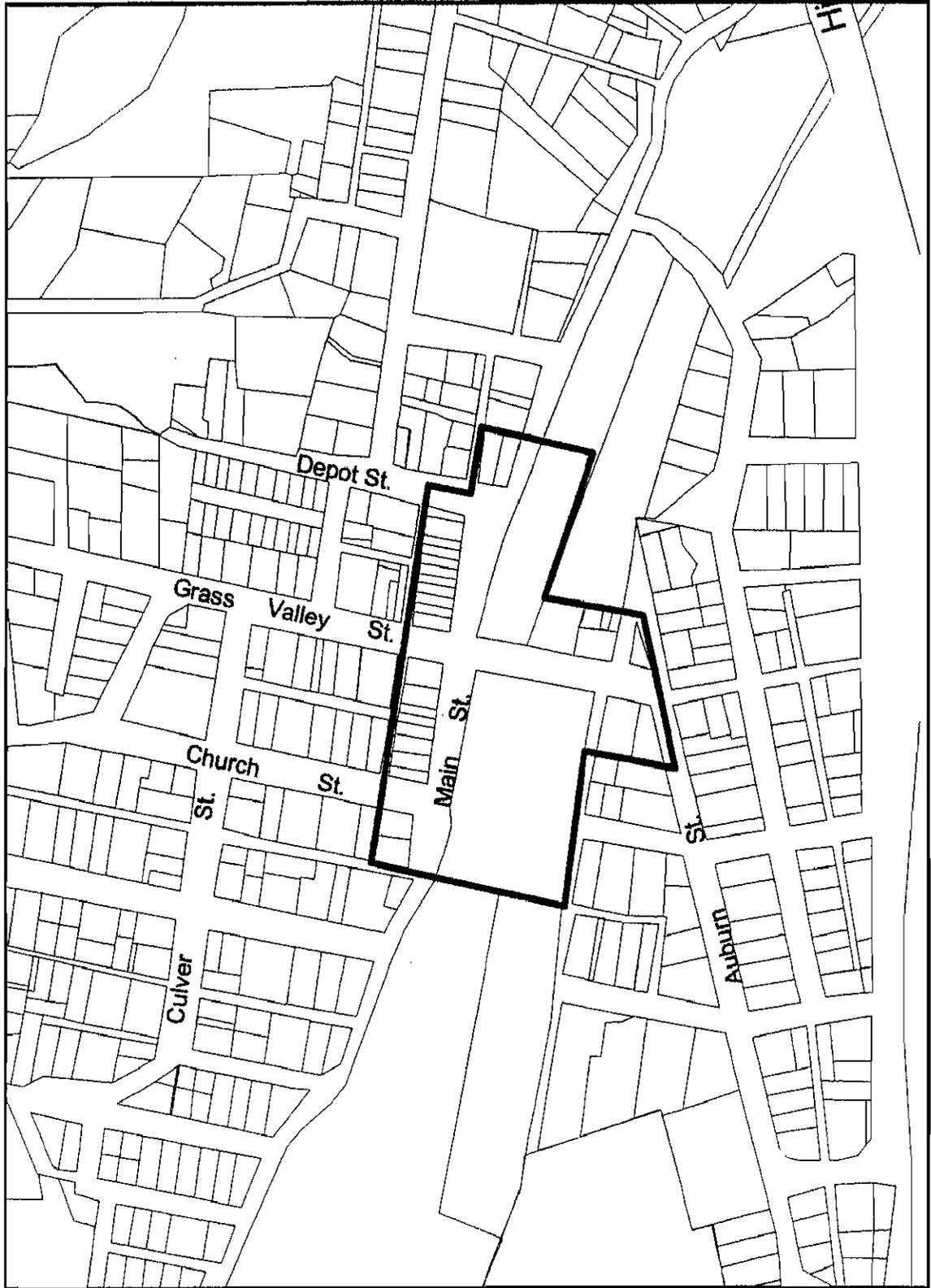
At the State level, a structure can be designated on the California Register of Historic Places. The structure must significantly promote California history and architecture to be placed upon this list. Once listed, permission must be granted for any kind of alteration to the structure. State listing is more easily accomplished than Federal listing since only California history must be promoted through the preservation of the structure.

Local

Many options are available to the local jurisdiction to promote Historic Preservation. The City may pass an Historic Preservation Ordinance or create a Historic District to protect various areas or structures. A Specific Plan can be prepared that will address issues of traffic,

Figure 5-14

City of Colfax Historical Design Control District



Scale
0 1000 2000 feet
1 inch = 1000 feet



Historical Design Control District

Produced for California State University, Chico
in Cooperation with the Geographic Information Center
Cartography by Kent Johanna

housing, land use and design review of a project area or district. Another preservation tool is the State Historic Building Code, which addresses specific construction problems that older structures face.

5.18.3 Funding Sources

Generally, the greatest challenge to historic preservation is related to the economic burden of structural renovations. The funding sources listed below should be considered and incorporated as appropriate in the City's Historic Preservation Plan.

Community Development Block Grants

CDBG's are used to develop urban communities by expanding economic opportunities, primarily for persons of low or moderate income. Small towns like Colfax would use the Small Cities Program. Use of the funds may be for acquiring historic structures, rehabilitation, construction, and code enforcement. Moneys can be used to fund studies, such as Historic District Specific Plans, or provide low interest loans for renovations.

Certified Local Government Program

A local government must have a Historic Preservation Committee or be in the process of completing a inventory of historic resources to participate in this program. This program gives unincorporated and smaller incorporated areas an opportunity for federal and state grants.

Tax Incentives

By making tax incentives available to owners, local governments encourage preservation of important properties. A contract between the property owner and the agency assures that property owners will be given public money (tax credits) if they maintain their property.

Mills Act Contracts

In California, owners of historic properties can get reduced property tax rates through this program. The program requires a contract that lasts for ten years and owners must give up any future development rights for the duration of the contract. Owners must agree to restore the property as necessary and maintain the historical character.

Charitable Contributions

A historically important structure may be donated to the government or other preservation organization. Property owners would be entitled to deduct the value of the donated property from their federal income tax.

Bond Measures

The City may vote on a bond measure to generate money. The City would then pay this money back in future years. This money could be used for low interest loans and the City could work with private property owners in renovating their property.

5.19 Community Design Issues

The following issues and concerns identified by the Planning Commission need to be addressed:

- Lack of continuity of commercial design standards/guidelines throughout the City.
- Inconsistent enforcement of City's Sign ordinance.
- Clarification needed of Design Review Commission's position in the overall permit application process.
- Encouragement of existing development to conform to current/proposed design guidelines.

5.20 Findings

The following findings are to the above issues and concerns:

- Boundaries of the Historic District are limited to the Historic Downtown by the current overlay zone.
- Newer commercial development has strayed from traditional building materials.
- Signage along I-80 and billboard policy is inconsistent.
- Pedestrian linkages need to be encouraged throughout the City with the possibility of creating a City Historic Walking Tour and link with County destinations, ie. Stevens Trailhead, public schools, Bear River Campground.
- Preserve architectural integrity of residential development by establishing residential design standards within the Historic District.

5.21 Community Design Goals, Policies, and Implementation Measures

Goal 5.21.1 Maintain the small town character that makes Colfax a desirable place to live.

Goal 5.21.2 Maintain and enhance the City's character and visual appearance in order to create a quality future community.

Goal 5.21.3 Maintain and enhance the historic resources, qualities and character of the City of Colfax.

Policy 5.21.1 New development shall conform to design guidelines as adopted by the City.

Policy 5.21.2 The compact form of the City will be maintained through a clear distinction between urban development and the surrounding environment.

Policy 5.21.3 Ensure that street design is pedestrian in scale and incorporates landscaping.

Policy 5.21.4 The City will encourage and support efforts by neighborhood property owners to increase property maintenance and improvement.

Policy 5.21.5 The City will strive to revitalize the downtown area as the focal point of Colfax.

Policy 5.21.6 New development shall be compatible with existing urban areas.

Policy 5.21.7 Community gateways shall be developed to emphasize arrival and departure to Colfax.

Policy 5.21.8 New growth will incorporate the established street patterns into development design.

Policy 5.21.9 Identify, protect and promote the restoration of historic structures and physical reminders of Colfax's past.

Policy 5.21.10 Encourage public and private record maintenance important to the areas history and culture.

Policy 5.21.11 The City shall promote the preservation and revitalization of all historic structures and areas in Colfax.

Policy 5.21.12 Maintain working relationship with the owners of the downtown buildings to educate others as to the historical significance of the structures.

Policy 5.21.13 Provide assistance as appropriate to groups or individuals that undertake historic restoration or preservation.

Policy 5.21.14 Provide assistance as appropriate to developers that promote historic features as part of their development design.

Implementation Measures

- 5.21.A** The Design Guidelines in this section will serve as interim guidelines until a fully developed version is completed.
- 5.21.B** New development shall be subject to design review by the Design Review Commission to ensure that desired qualities are incorporated.
- 5.21.C** Adopt design guidelines that promote the incorporation of historic features in new developments.
- 5.21.D** Adopt a Historic Preservation Plan which establishes strategies the City will use to promote historic preservation.
- 5.21.E** Use open space and design monuments to develop gateway entrances and to entice travelers on Interstate 80 to visit Colfax.
- 5.21.F** The City will pursue programs such as grants, public or private donations or contribution for improving maintenance and upkeep of properties throughout Colfax.
- 5.21.G** Create an inventory of all the historic structures and areas in Colfax and its sphere of influence.

**TREES/SHRUBS/HORTICULTURE PLANTINGS SUITABLE FOR
COMMERCIAL USE IN COLFAX**

EVERGREEN TREES	Conifers and others not losing leaves in winter
Incense Cedar	Libocedrus decurrens cedrus dardora an excellent screen
Deodar Cedar	
California Bay laurel	Umbellularia California
Ponderosa Pine	pinus ponderosa
Western White Pine	pinus lambertiana
Douglas Fir	pseudotsuga taxifolia
White Fir	abies concolor
California Red Fir	abies magnifica
Giant Sequoia	sequoia gigantea
Tan Oak	lithocarpus densiflorus
Canyon Live Oak	quereus chrysolepis
Alberta Spruce	piciaglauca 'conica' slow growing
All of the above can be pruned, trained for low or high branching, by the trainer.	

TREES SHEDDING FOLIAGE IN WINTER

Black Oak	quercus kelloggii
Blue Oak	quercus douglasii
California White Oak	quercus lobata
White alder	alnusa incana
Red alder	alnusa rubra
European alder	alnusa glutinosa
ALL ALDERS EXCELLENT IN MOIST SOILS	
California BlackWalnut	juglans californica
Maples	Many kinds...use all...new being developed
Ginko Biloba	maiden hair tree...use male only
Magnolia	solangianna

TREES FOR FALL COLOR STREET TREES

PEARS (IDEAL STREET TREE)	Pyrus calleryana and others: Aristocrat (best color in our climate) Bradford, Redspere, Capitol, Whitehouse Chantideer (15x40) narrow-cylindrical
Red Bud	cercis chinensis
Hawthorne	Washington
Tulip Tree	liriodendron tulipifera
African Sumac	rhus lancea
Maples	all some better color than others LOOK FOR NEW HYBRIDS
Pacific Dogwood	cornus nuttallii and all others
Golden Rain	oelrueuteria paniculata American can be confined to areas 3' or less, and is pest free.
American Holly	illex opace and others
Most all Flowering Fruits	cherry, peach, etc
Service Berry	
Hardy Silk Tree	
Silk Tassel	
Strawberry	
Crape Myrtle	(has flower, and bud drop (can be messy)

Azalea	Rhodies , etc. Sun & Shade types
Berberis	thunbergii scarlet korean, japanese, etc
Butterfly bush	buddleiadauidi (annual pruning needed)
Bush dogwoods	
Butterfly weed	asclepias tuberosa (once established...long lasting)
California Toyon	
Ceanosis Yankee	Horizontalis....and others
Cotoneaster	apiculata, divaricata, prostate, and others
Callistemon	bottle bush
California Fuschia	zauschneria californica (once established..hardy)
Euonymus	dilatatum; many kinds-hardy
Elaeagnus	alata...fall color scarlet
Euroyops	
Fremontodendron	flannel bush-hardy, once established
Grevillea	
Lavenders	look for new hybrids
Oleanders	semi hardy, need microclimate
Peony	paeonia...excellent weather here for them hardy, lasts a century
Nandina	domestica red heavenly, small/mini
Pyracantha	Santa Jose and others smaller
Magnolia	solangianna
Rhododendron	vasseyi red's; schlippenhaachi, orange/crimson
Rock rose	Cistus
Rosa	(virginiana) scarlet; (rugosa)orange; others
Viburnums	dilatatum-red; and many others
Spirea	prunifolia; red to orange...and many others
Tamaris	t. pentandra
Poker	yellow red
Yarrow	aachillea: white, red, yellow creeping; King George 6"
Cassia	artemisotoides, feathery cassia
Lilac	

Others are being hybridized, recommend alpine type plants

GROUND COVERS	unlimited if frost hardy
DAY LILIES	unlimited excellent in mass little care
BULBS, CORMS, ETC	unlimited